

PLAN COMMISSION OF THE CITY OF HUDSON, WISCONSIN

Tuesday, January 5, 2020 6:00 p.m.
Council Chambers of City Hall, 505 Third Street & via Zoom

To access the meeting please use the link or phone number below. If you cannot access the meeting via the methods below or need any special accommodations please contact Aaron Reeves at 715-716-5741 or areeves@hudsonwi.gov.

Join Zoom Meeting

<https://us02web.zoom.us/j/89502696262?pwd=V2N1ajBNT1p0Y0RML1BMcXJMSFN0QT09>

Meeting ID: 895 0269 6262
Password: 162465
Call-In Phone Number: 1-312-626-6799

This meeting can also be viewed live via YouTube (River Channel) and Facebook (@hudsonriverchannel) as well as on Community Access TV Channel 15.

AGENDA

(Click on agenda items highlighted in blue to access documents related to that item)

1. Call to Order
2. [Discussion and possible action on December 8, 2020 meeting minutes](#)
3. Public Hearings
 - A. [Public hearing on a conditional use permit \(CUP\) application for garage height to exceed 20 feet at 809 Third Street – Robert & Wendy Hanson](#)
4. New Business
 - A. [Discussion and possible action on a conditional use permit \(CUP\) application for garage height to exceed 20 feet at 809 Third Street – Robert & Wendy Hanson](#)
 - B. [Discussion and possible action on a downtown design review certificate for 517 Second Street – SignArt USA](#)
5. Old Business
6. Communications and Items for Future Agendas
7. Adjournment

Emily Boles, Acting Secretary

Posted on City website and emailed to *Star-Observer* on 12/30/2020.

Notice is hereby given that a majority of the City Council or an official City Committee/Commission may be present at the aforementioned meeting of the Plan Commission to gather information about a subject over which they have decision making responsibility. This constitutes a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis. 2d 553, 494 N. W. 2d 408 (1993), and must be noticed as such, although the Council or City Committee/Commission will not take any formal action at this meeting.



REGULAR MEETING OF THE PLAN COMMISSION
CITY OF HUDSON
Tuesday, December 8, 2020

The meeting was held via Zoom Video Conference and was made accessible through the Zoom meeting log-in, call-in phone number and also viewed live via YouTube, Facebook, and Community Access TV Channel 15.

The Plan Commission meeting was called to order by Chairman O'Connor at 6:05 p.m.

COMMISSION MEMBERS PRESENT. Pat Casanova, Randy Morrissette, Rich O'Connor, Mary Claire Potter, Frank Rhoades, and Fred Yoerg.

COMMISSION MEMBERS ABSENT. Kurt TeWinkel.

STAFF MEMBERS IN ATTENDANCE. Emily Boles and Tiffany Weiss.

OTHERS PRESENT. Duane Brown, Suzy Fallon, Russ Kurvers, Christopher Mick, Lori Schutte and others present.

Discussion and possible action on November 10, 2020 meeting minutes. Motion by Yoerg, seconded by Rhoades to approve the minutes of the November 10, 2020 Plan Commission meeting. All Ayes (6). Motion Carried.

PUBLIC HEARINGS. None.

NEW BUSINESS.

Discussion and possible action on a Home Occupation License for 725 8th Street to operate a hair salon – Lorie Schutte. Tiffany Weiss, City of Hudson Associate Planner, reviewed Lori Schutte's request for a home occupation permit to operate a one chair hair salon from her home at 725 Eighth Street. Yoerg asked if any signage was proposed. Weiss stated no signage was requested in the application; however small signs are allowed in residential zones. Yoerg stated that a one-year review may be appropriate for the license. Boles reviewed the home occupation approval process. O'Connor asked for staff's recommendation. Weiss stated that staff recommended approval of proposed home occupation license and recommended the Plan Commission receive public comments.

Duane Brown, 726 Eighth Street, stated the proposal was right across the street from his property. Brown said that the salon would change the neighborhood, impact his property and resale values. He continued to state that he would have never considered purchasing his property if there had been a business that close. Brown expressed concern for business in a residential neighborhood, growth of the operation, and assessment values.

Suzy Fallon, 726 Eighth Street, introduced herself as Duane Brown's daughter and spoke about the quiet neighborhood by Eighth and Elm Street. Fallon expressed concerns for the changes in the neighborhood, growth of the business, hours of operation and traffic.

Morrissette requested the applicant review their application. Lori Schutte, owner of 725 8th Street, stated that she is close to retirement age and desires to no longer work in a salon environment. Shute stated that she will not have any employees and that her house is two houses off Vine Street and will not create any through-traffic. She plans to operate two to three days a week with 1-to-2-hour client time slots. She would only see about 4-5 clients a day.



REGULAR MEETING OF THE PLAN COMMISSION
CITY OF HUDSON
Tuesday, December 8, 2020

Russ Kurvers, 722 Eighth Street, stated that his family has two kids and expressed concerns about parking and activity in the evening hours for kid safety. Kurvers said he loved the idea of his neighbor being an entrepreneur and highlighted the quiet street and neighborhood. Kurvers inquired about future trends of the downtown district and stated he did not want the neighborhood to become commercial.

O'Connor stated that the proposed operations would only have one vehicle arriving and leaving at a time. Schutte confirmed that she will not take walk-in traffic (appointment only) or have signage. Schutte said she plans to work Wednesday, Thursday, Friday and sometimes Saturday with hours between 10 a.m. and 9 p.m. when it works best for clients. She stated that clients can park in the driveway and has space to add a parking pad. Potter asked if Schutte is already seeing clients. Schutte said she recently closed on the house, had a sewer issue, and was not ready to operate now. She continued to state that she will have a separate bathroom, sink, and entrance for the setup.

Christopher Mick, 802 Eighth Street, stated concerns for traffic control and pedestrian safety. He asked about precedent and the ability for other businesses to start on the block or area. Weiss stated that home occupation permits be applied for in any residential district and is not specific to any certain neighborhood.

Motion by Morrissette, seconded by Yoerg to approve the home occupation license for 725 Eighth Street with the following conditions:

1. That the applicant applies for applicable building permits as necessary.
2. That the permit be reviewed after six months of operation.

Discussion:

Rhoades stated he was against downtown expansion. Suzy Fallon, 726 Eighth Street, reiterated concerns for downtown expansion. Weiss stated that the home occupation permit application is not a rezoning and is for owner-occupied business operation. She encouraged attendees to visit the Comprehensive Plan Update community feedback tools to share opinions on how the downtown overlay district looks or expands in the future. Discussion was held regarding downtown business, permit review periods, and the number of home occupation permits received by the city annually. Boles suggested the permit be reviewed six months from occupation. Ayes (4). Nays (2 - Rhoades and Potter). Motion Carried.

Discussion and possible action on a downtown design review certificate for 511 Second Street – Fit PT

Discussion was held regarding the sign being installed. Weiss reviewed the staff report. Motion by Morrissette, seconded by Casanova to approve the downtown design review certificate for 511 Second Street to install a projecting sign. All Ayes (6). Motion Carried.
MCP – sign is already up -

OLD BUSINESS. None.

COMMUNICATIONS AND ITEMS FOR FUTURE AGENDAS.

Proposed 2021 Plan Commission Meeting Dates

Boles noted that the proposed 2021 Plan Commission meeting dates were provided and asked for Plan Commission members to reach out if they had any conflicts.

ADJOURNMENT.

Motion by Morrissette, seconded by Yoerg to adjourn at 6:40 p.m. All ayes (6). Motion Carried.

Respectfully submitted,
Emily Boles, Acting Secretary



505 Third Street
Hudson, Wisconsin 54016-1694
FAX: (715)386-3385
www.hudsonwi.gov

Mike Johnson
*Assistant City Administrator/
Community Development Director*
mjohnson@hudsonwi.gov
(715)386-4776, ext. 166

Tiffany Weiss
Associate City Planner
tweiss@hudsonwi.gov
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*Associate City Planner/
GIS Coordinator*
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(715)386-4776, ext. 143

Emily Boles
Executive Assistant
eboles@hudsonwi.gov
(715)386-4776, ext. 116

**NOTICE OF PUBLIC HEARING
PLAN COMMISSION, CITY OF HUDSON, WISCONSIN**

NOTICE IS HEREBY GIVEN, that the Plan Commission of the City of Hudson, Wisconsin will hold a public hearing on **Tuesday, January 5, 2021 at 6:00 p.m.** to invite public comment in regard to the consideration of an application for a conditional use permit by Bob and Wendy Hanson for a garage height exceeding 20 feet at 809 Third Street, Hudson, St. Croix County, Wisconsin. The usual in-person meeting will be conducted in the form of videoconferencing. Citizens can participate in the hearing by live video or over the phone by voice. The video conference link will be available on the meeting agenda found at the following website: <https://www.hudsonwi.gov/agendacenter>. If you have any comments or questions in regard to this matter you may contact Mike Johnson, Community Development Director, City Hall, 505 Third Street, Hudson, Wisconsin, 715-386-4776.

Dated this 9th day of December 2020
Emily Boles, Executive Assistant

Publish Class II notice, December 17 & 24, 2020 in the *Star-Observer*; send affidavit of publication

Forwarded to Star-Observer, 12/9/2020
Posted on city website, 12/9/2020

cc: Mike Johnson, Community Development Director
Becky Eggen, City Clerk
Rich O'Connor, City Mayor
Aaron Reeves, City Administrator
Cathy Munkittrick, City Attorney
Bob & Wendy Hanson, Applicants



505 Third Street
Hudson, Wisconsin 54016
ph: (715)-386-4765 fx: (715)386-3385
www.hudsonwi.gov

TO: Plan Commission

FROM: Community Development

DATE: 5 January 2021

SUBJECT: Public hearing on a conditional use permit (CUP) application for garage height to exceed 20 feet at 809 Third Street – Robert & Wendy Hanson

Discussion and possible action on a conditional use permit (CUP) application for garage height to exceed 20 feet at 809 Third Street – Robert & Wendy Hanson

BACKGROUND:

The Hanson's have applied for a conditional use permit to allow the construction of a 1.5-story detached garage at their residence of 809 3rd Street that would exceed the height limitation of 20 feet for accessory buildings as cited in *Attachment 2* of the City of Hudson's Zoning Code.

The project would include a 2-car garage, an office space, storage closet, bathroom, and a bonus/exercise room. The intention for this garage is not to be used as a separate living space and, if approved, would be noted as such on the building permit. This construction would demolish the existing detached garage on site and would be replaced with a new garage with a proposed height of 23 feet 9.5 inches, thereby exceeding the 20-ft height limit.

Both homeowners work out of their home, which is currently not well-suited for two home office spaces. The existing garage, while functional, is not aging well and does not fit the character of the English Tudor house design or the historic 3rd Street neighborhood. With this redesign, the Hanson's hope to have the garage matching all historical aspects of both their house and the surrounding neighborhood. The Hanson's considered other options for reducing the height, however, those changes detracted from the design of the garage as a flatter roofline of the new garage would not match the steep-roofed Tudor design of the existing house.

STAFF RECOMMENDATION:

Recommends approval of the conditional use permit with conditions.

However – as a public hearing will be held at the Plan Commission Meeting, testimony from the public should be listened to and considered before deciding on the requested conditional use permit.

ACTION REQUESTED:

Approve the conditional use permit for the development of a 23 ft 9.5 in garage height at 809 Third Street with the following conditions:

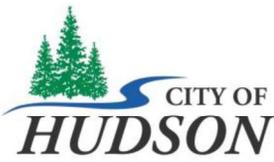
1. Property owner to obtain Building Permit as needed prior to construction activities.
2. Property owner must obtain necessary Conditional Use Permit approval from the Common Council.
3. The detached garage space shall not be used as an accessory dwelling unit.
4. Any omissions of any conditions not listed shall not release the property owner/developer from abiding by City Ordinances.
5. All conditions run with the land and are binding upon the property owner and all heirs, successors, and assigns. The sale or transfer of all or any portion of the property does not relieve the original property owner from meeting any conditions.

ATTACHMENTS:

Applicant Narrative

Architectural Rendering Plan Set

Prepared by: Tiffany Weiss, Associate City Planner
Through: David Gray, Building Inspector



Application for:
CONDITIONAL USE PERMIT
(As per Municipal Code § 255-76, 255-85, 255-88 and 255-89)

505 Third Street • Hudson, WI 54016 • (715)386-4776

www.hudsonwi.gov

Date	November 27, 2020		
Applicant Name	Robert and Wendy Hanson		
Mailing Address	809 3rd Street, Hudson, WI 54016		
Phone	913-709-7566	Email	bob.hanson@hansontech.net
Property/Building Owner	Robert and Wendy Hanson		
Project Name	Hanson Carriage House		
Project Location	809	3rd St	
	<i>(number)</i>	<i>(street)</i>	<i>(other information)</i>
Project Location Details <i>(if applicable)</i>	Detached carriage house/garage to replace existing garage on primary residence.		
<p>The following are to be included with the application:</p> <ul style="list-style-type: none">• Development plans of the proposed use.• Requirements as per Municipal Code §255-76(C)• Application fee (nonrefundable) of \$400.00 payable to the City of Hudson. <p>Number of plan copies to be submitted:</p> <ul style="list-style-type: none">• (2) 24" x 36"• (6) 11" x 17"• Electronic submittal			
<p>Robert Hanson <small>Digitally signed by Robert Hanson Date: 2020.11.25 16:34:31 -06'00'</small></p> <hr/> <p>Applicant Signature</p>			
Application #	Receipt #	Date	

Application for Conditional Use Permit

Project: Hanson Carriage House

Applicants: Robert and Wendy Hanson
809 3rd Street, Hudson
ph: 913-709-7566

Project Description

This application is for a conditional use permit for a 1.5 story “carriage house” style garage to replace the existing garage on our residential property at 809 3rd Street.

The proposed new carriage house was designed by Michael Huber Architects. It has a garage and home-office on the main floor and a bathroom and “bonus” room on the second floor. The bonus room will be used as an office and a family room. The new carriage house will be used solely as part of the primary residence, and will not be used for a second family residence or a rental property. The reason for this CUP application is that the design for this new 1.5 story carriage will have a height of 23 ft 9.5 in, which exceeds the 20 ft height allowed by City code for an accessory building, and thus the need for a CUP.

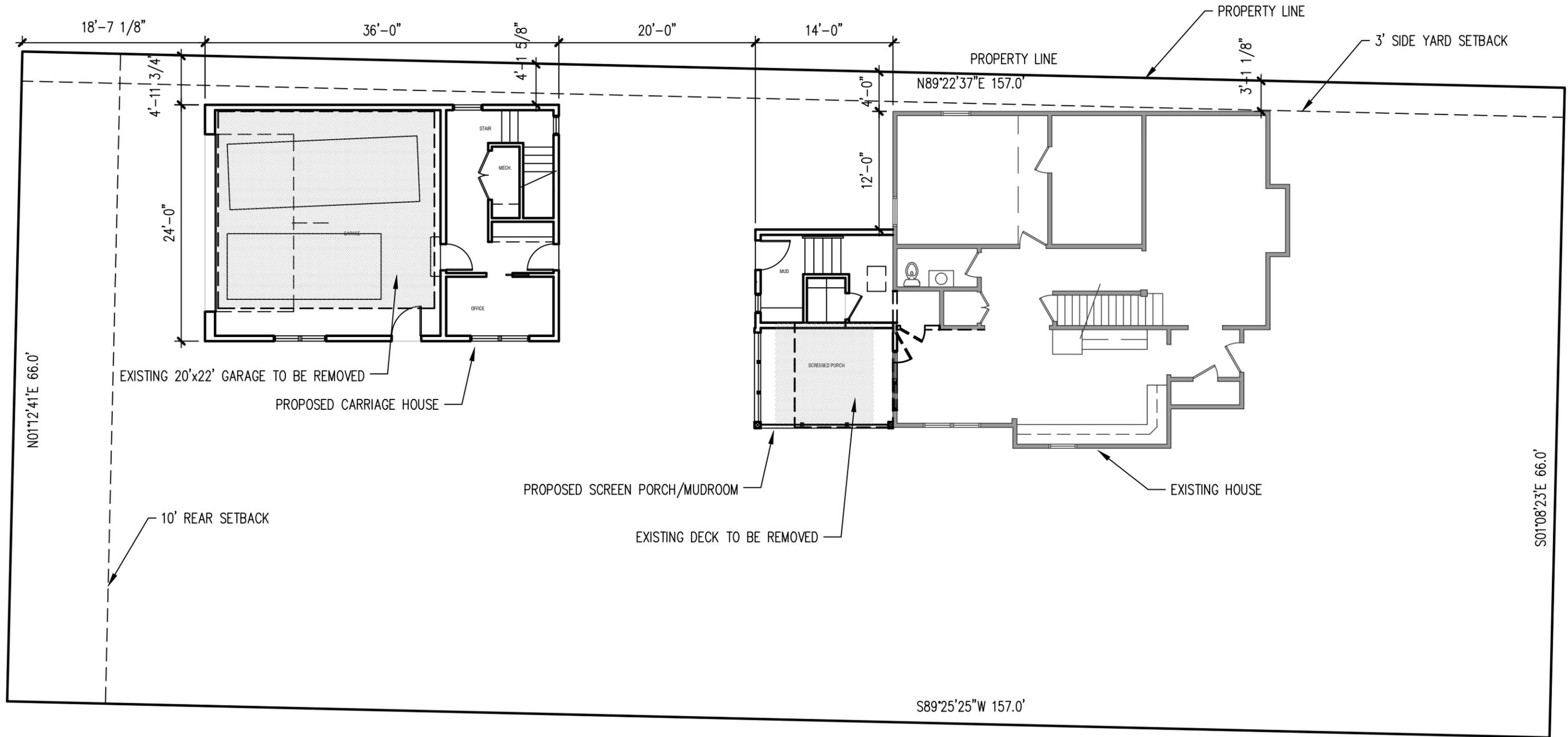
Form and Function

Wendy and I both work out of the home, and our current house is not well suited for home offices. Our aim with the proposed carriage house is to create private home-office spaces for each of us as well adding storage space, a new living area and a larger garage. The existing garage, while functional, is not aging well and its design does not fit the character of our English Tudor house design or the historic 3rd Street neighborhood.

We retained Michael Huber Architects to consider various designs, and after exploring several options, including an addition to the current house, we decided that a detached carriage house would be the best way to add new home-offices and a garage while preserving and enhancing the historic character of the property and the neighborhood. Huber designed the carriage house to match the lines and appearance of the existing English Tudor house (see photographs), while making sure that the size was such that the new carriage house was clearly subordinate to the original house (see drawings). However, while we were able to meet City requirements for the overall building size and the required property offsets for an accessory building, the building height as designed is 23 ft 9.5 in, which exceeds the City’s 20 ft limit for detached accessory buildings. As shown

on the drawings, Huber used a 14:12 pitch for the main carriage house roof so that its roofline would match the pitch of the existing house in keeping with its classic Tudor design and character. We considered options for reducing the height, but these changes detracted from the design. For example, if we changed the pitch to 12:12, we could reduce the building height to 21 ft 10 in. Or, if the roof was even flatter, we could meet the 20 ft limit. However, these flatter roofs would not be in keeping with the existing steep-roofed Tudor design, so instead, we are requesting that the City approve a CUP for a detached “carriage house” accessory building with a 14:12 roof pitch and a 23 ft 9.5 in height, as shown on the included drawings.

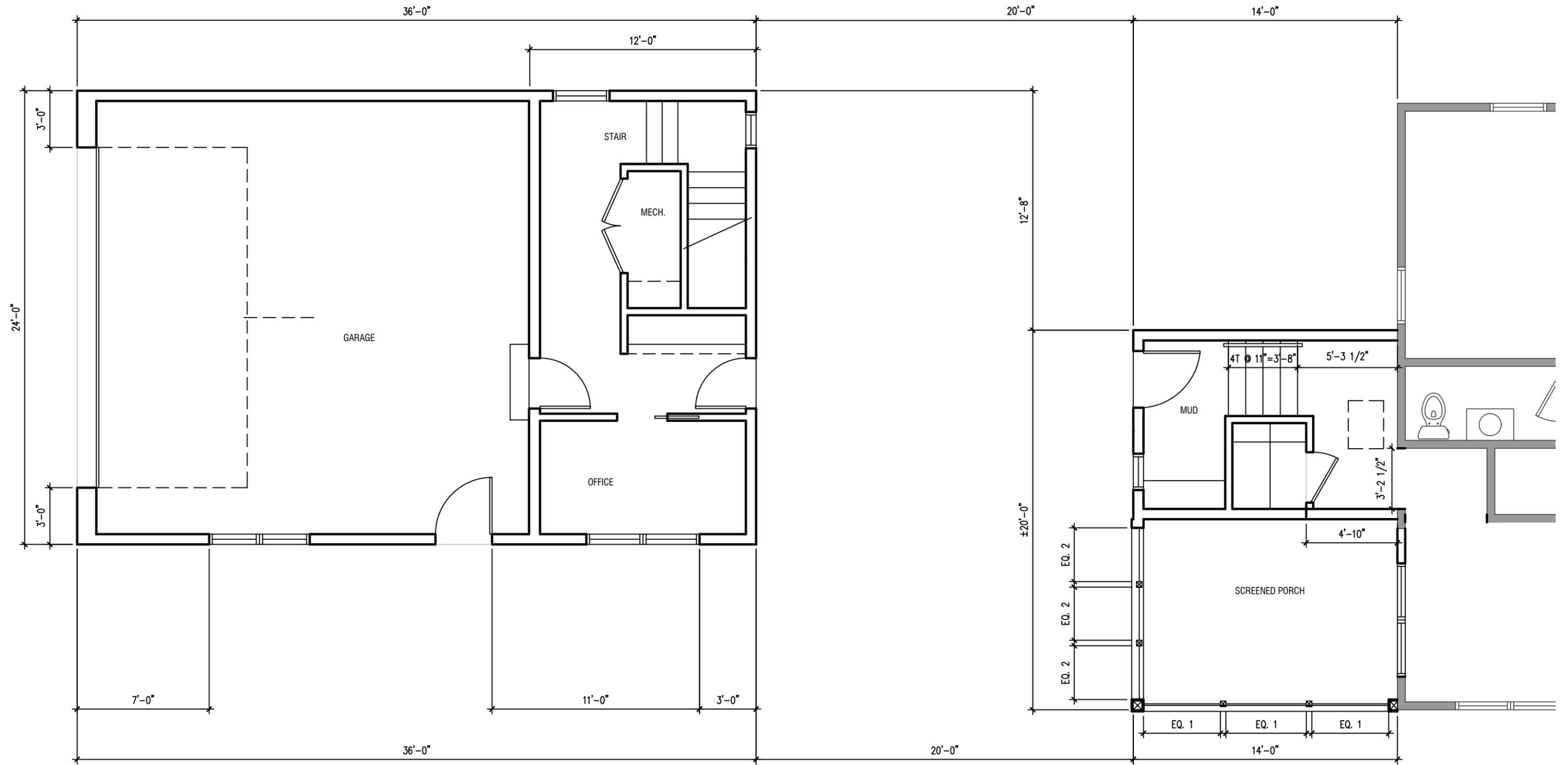
Detached 1.5-story carriage houses are common on 3rd Street, and this carriage house would fit the historic feel of the street and the neighborhood. The proposed building height of 23 ft 9 in would be similar to other carriage houses on the street and in the broader downtown neighborhood. Our adjacent neighbor, for example, has a carriage house that is 22 ft 2 in tall. As such, we hope that the City will approve this CUP for construction.



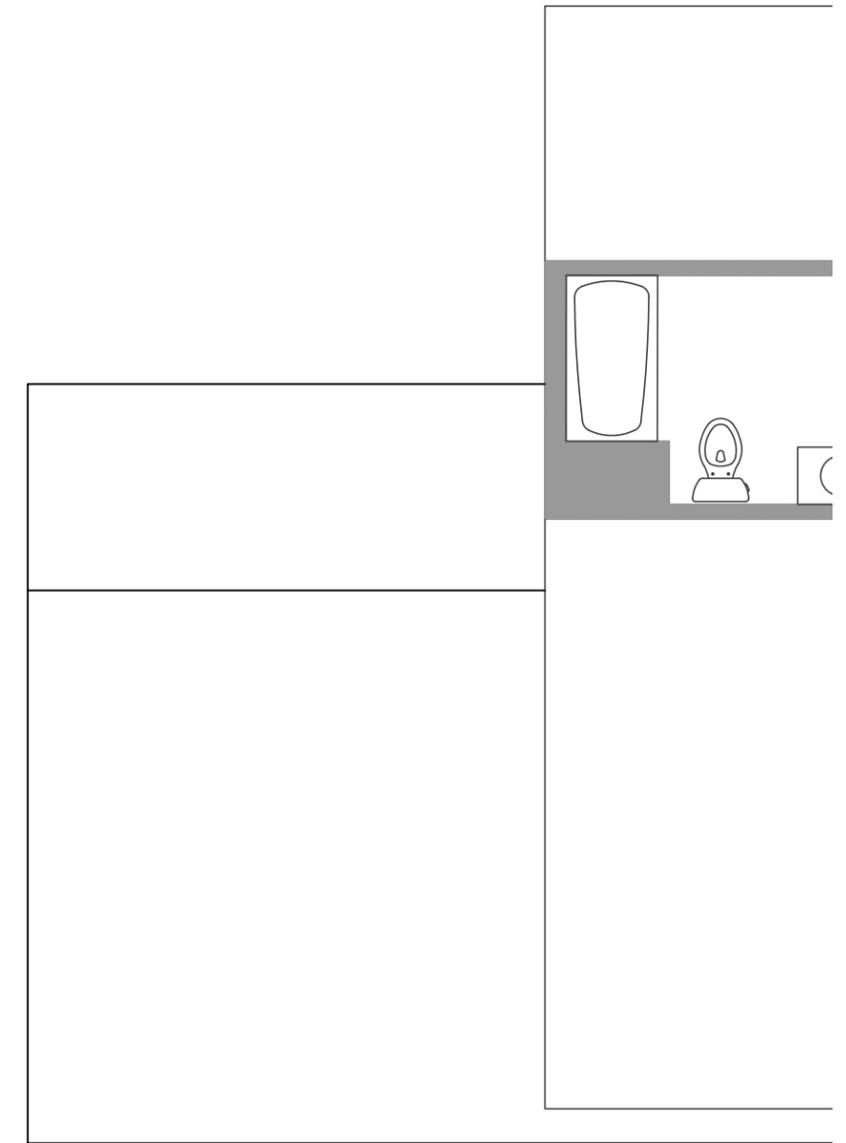
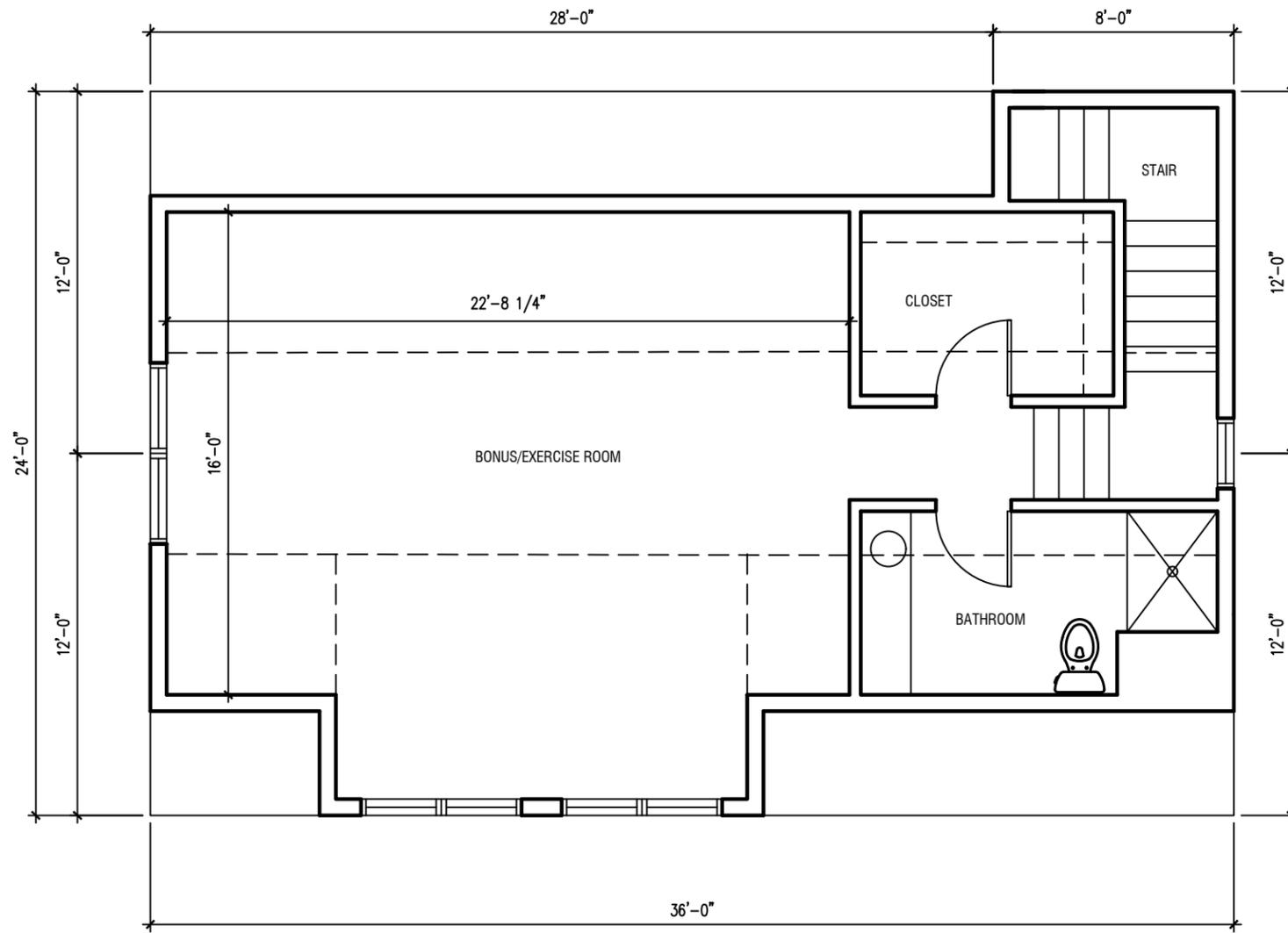
1

SITE DIAGRAM – BASED ON SURVEY BY AUTH CONSULTING/ASSOCIATES 8/8/11

3/32"=1'-0"



1 MAIN LEVEL PROPOSED PLAN
3/16"=1'-0"



1

UPPER LEVEL PROPOSED PLAN

3/16"=1'-0"



351 Highview Road
Hudson WI 54016
651 . 442 . 3771

CUP Submittal

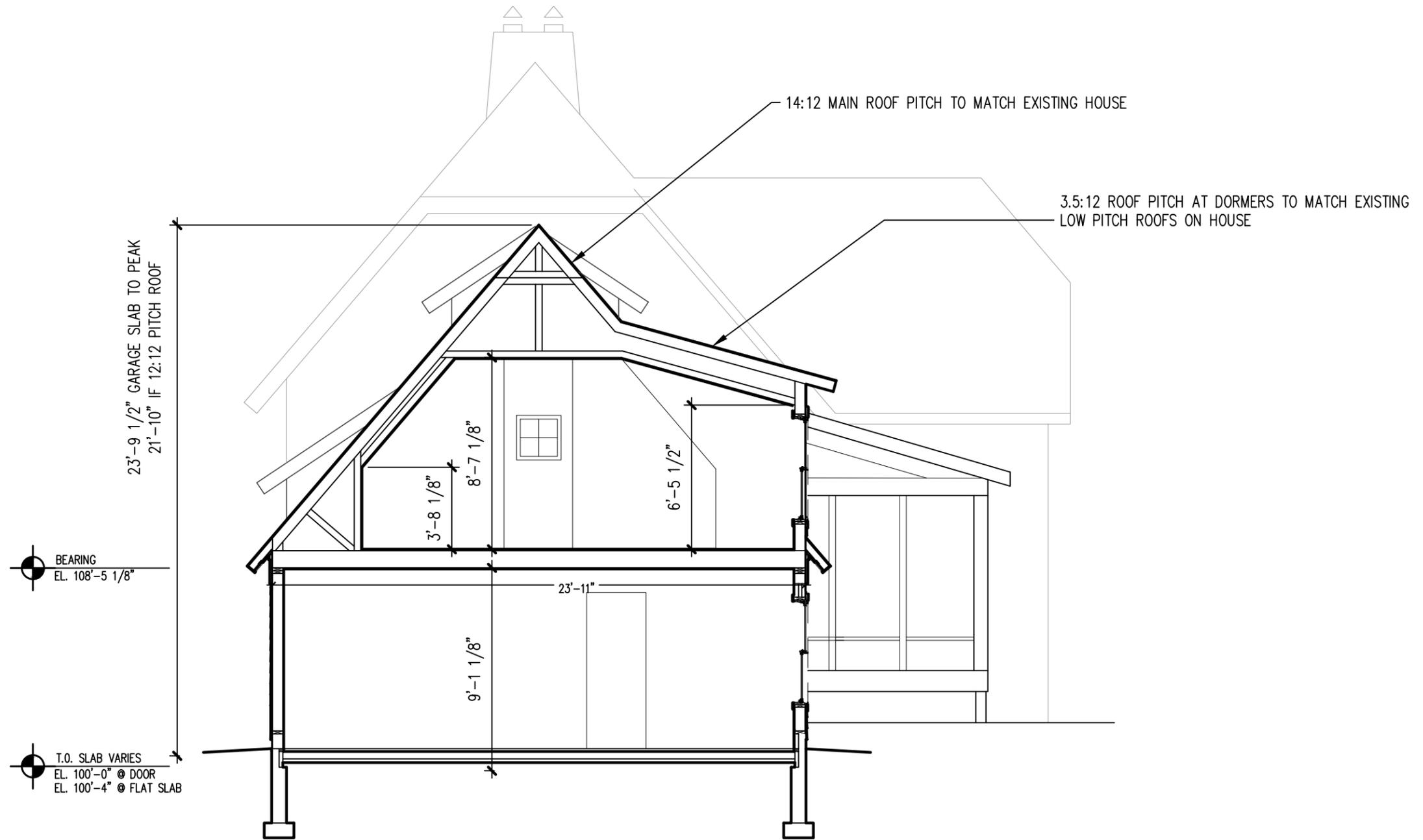
Hanson Carriage House
809 3rd Street
Hudson, Wisconsin 54016

UPPER LEVEL PLAN

Project No.: 20-14.0 | Date: 11.23.2020 | Revisions: x.x.x

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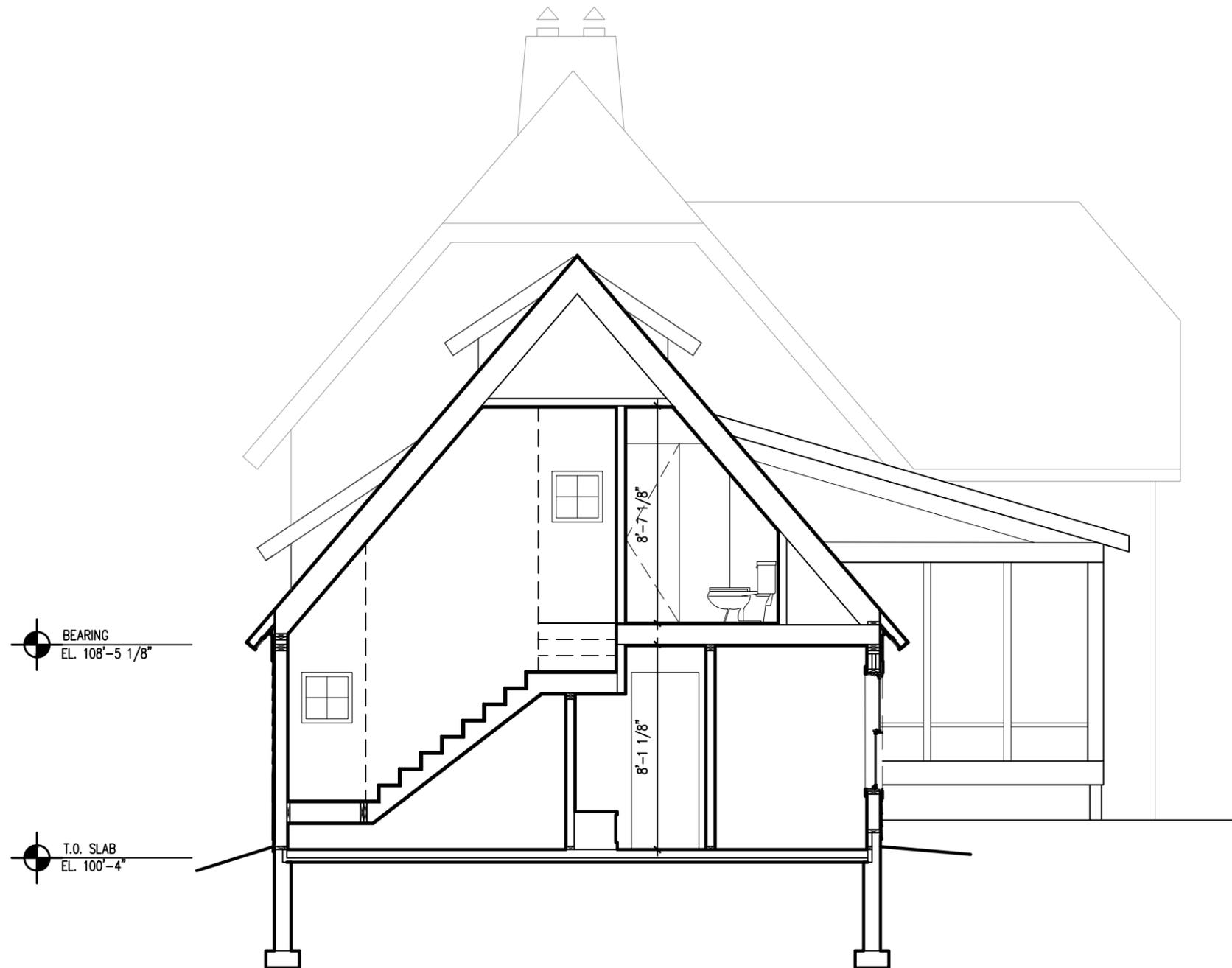
A3



1

BUILDING SECTION @ GARAGE & BONUS ROOM

3/16"=1'-0"



BEARING
EL. 108'-5 1/8"

T.O. SLAB
EL. 100'-4"

1

BUILDING SECTION @ STAIR, MUDROOM & OFFICE

3/16"=1'-0"





existing garage to be removed/replaced

Minutes of Neighborhood Meeting for Conditional Use Permit Application

Project: **Hanson Carriage House**
Robert and Wendy Hanson
809 3rd Street
ph: 913-709-7566

Organizer: Robert Hanson

Attendees: John Clymer
829 3rd Street
clymerja@comcast.net

Michael Schendel
808 2nd Street

City monitor: Emily Boles

Meeting Minutes

This neighborhood meeting was held as a Zoom meeting at 5:00 pm on Dec 17, 2020. After Mike and John logged in, I read the City's required statement. Then, I used PowerPoint slides to present 3-D views and a footprint view of the proposed design of the Carriage House. I explained that it was a 1.5 story detached accessory building that would include a garage and an office on the main level, and a office/bonus-room and a bathroom on the second level. I further explained that the Carriage House was intended as part of the primary residence, and not as a rental unit or a second residence.

Regarding the compliance of the proposed building with City requirements, I noted that the building met the requirements for the minimum setbacks of 3 ft from the side boundary and 10 ft from the alley boundary (garage facing alley), and also the required minimum 10 ft gap between the Carriage House and the primary residence. However, the height of the proposed building is 23 ft 9 inches, which exceeds the City specification for a 20 ft maximum height for a detached accessory building, thus necessitating the application for a Conditional Use Permit.

Regarding the height, I explained that we had hired a local architect, Michael Huber, to design a building that would be in keeping with the English Tudor architecture of the existing house, and also the historic feel of the neighborhood. We wanted the Carriage House to look like it belonged to the property and the neighborhood. In the proposed design, then, Huber used a steep 14:12 roof pitch to match the roof pitch of the house, but this resulted in 23' 9" peak height. I further explained that we also had Huber draw up a prototype design for us that used a flatter roof pitch that would have met the 20 ft height restriction, but the flatter roof design was rather unsightly and not in keeping with the architectural design of the house or the historical appearance of other carriage houses in the neighborhood. John Clymer noted that he had seen an accessory building nearby that had been built with a flatter roof to reduce its height, and concurred that the building was unappealing with the flatter roof design.

Following are my notes on the discussion with John Clymer and Mike Schendel:

Discussion: John Clymer

(John and his wife, Janet, are long-time Hudson residents that live three doors down from us in a restored historic 3rd Street house on a corner lot.)

John asked if our commitment to not using the Carriage House as a rental property or a second residence was a City requirement or just a personal commitment. I said we would be using the Carriage House as part of the primary residence only, but I was unsure if it was also a City requirement that it only be used as part of the primary residence. If it was not a City requirement, I would be agreeable to including this commitment as a part of the Conditional Use Permit.

John said that he and Janet were extremely supportive of this project, and they were happy to see us investing in our property and the neighborhood. He appreciated us hiring an architect to design a building that fit the architecture of the property and the neighborhood, and had no objection to the additional height that was required to make that happen.

Discussion: Mike Schendel

(Mike is a long-time Hudson resident who is our backyard-alley neighbor. Mike lives on 2nd St, and the back of his house faces our garage across the alley).

Mike was very supportive of the project. He thought that the new building would actually enhance his view to have an architect-designed Carriage House facing his house instead of an ordinary garage. He did not object to the additional height necessary to make the architecture of the Carriage House work, and noted the added height of the building did not block any views.

809 Third Street – Garage Height over 20 ft Conditional Use Permit

Call received by staff from Jim Eulberg, owner of 819 Third Street on December 9, 2020. Mr. Eulberg stated he had no problems or concerns about the proposed garage replacement project.

From: [Bob Hanson](#)
To: [Emily Boles](#)
Subject: Fw: Garage Project - special use permit
Date: Friday, December 18, 2020 8:26:02 AM

Hi Emily,

I am writing up the minutes from our meeting last night.

I received this e-mail from John and Janet Clymer earlier this month. Will you add this e-mail to my file?

Thank you!!

Bob

Robert Hanson
HansonTech LLC
809 Third Street
Hudson, WI 54016
USA
ph: 913-709-7566

----- Forwarded Message -----

From: John Clymer - Comcast <clymerja@comcast.net>
To: "bob.hanson@hansontech.net" <bob.hanson@hansontech.net>
Sent: Saturday, December 5, 2020, 10:01:01 AM CST
Subject: Garage Project - special use permit

Wendy and Bob - we received the notice of the meeting on December 17th and hope to be on Zoom to listen. We could not be more supportive of your plan and your desire to invest in the neighborhood. A couple of the neighbors for various reasons are not able to keep their properties as they may like, but the example you're setting might be infectious.

It'll be fun watching your project take shape

Janet and John Clymer

From: [Bob Hanson](#)
To: [Emily Boles](#)
Subject: Fw: Carriage house
Date: Friday, December 18, 2020 2:20:41 PM

Hi Emily,

Here is another support email for the file.

Nancy and David Christensen live at 821 4th Street, but also own the duplex next door to me at 803 3rd St.

Thank you!!

Bob

Robert Hanson
HansonTech LLC
809 Third Street
Hudson, WI 54016
USA
ph: 913-709-7566

----- Forwarded Message -----

From: Nancy <nanchris2@comcast.net>
To: Bob Hanson <bob.hanson@hansontech.net>
Sent: Wednesday, December 16, 2020, 07:40:10 PM CST
Subject: Re: Carriage house

We did, we're fine with it!

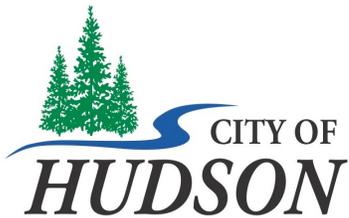
Thank you
Nancy Christensen
Vocational Consultant
612-669-8484

On Dec 16, 2020, at 7:37 PM, Bob Hanson <bob.hanson@hansontech.net> wrote:

We applied for a conditional use permit for the carriage house that we want to build. The City requires us to have an info meeting with all of the neighbors in a two block radius. Did you get a letter?

You should have. I can send you a Zoom invite if you want to come.

Robert Hanson
HansonTech LLC
809 Third St
Hudson, WI. 54016
ph: 913-709-7566



505 Third Street
Hudson, Wisconsin 54016
ph: (715)-386-4765 fx: (715)386-3385
www.hudsonwi.gov

TO: Plan Commission
FROM: Community Development
DATE: 5 January 2021
SUBJECT: Discussion and possible action on a downtown design review certificate for 517 Second Street – SignArt USA

BACKGROUND:

The applicant, on behalf of the business owner, has submitted requests for a sign permit and downtown design review certificate to permit a projecting sign, wall sign, and vinyl door decals at 517 Second Street. The projecting sign is proposed to be 12.25 ft² in area and will extend 4ft out of the wall. The sign is proposed to be internally lit. Per Municipal Code Chapter 202-6(C)(9), projecting signs are only permitted in the B-3 zone and must be under 20 ft² in area. Projecting signs must also not extend more than 4 feet out of the wall.

The rear wall sign is proposed to be 4 ft² in area and will be on the building's west façade. The door vinyl decals are proposed to be under 6 ft² in area and will be on the business's front door facing 2nd Street. Because both signs are under 6 ft² in area, neither requires a sign permit.

Staff has found that all proposed signage for 517 2nd Street meets municipal code dimensional requirements.

STAFF RECOMMENDATION:

Recommends approval of the downtown design review certificate.

ACTION REQUESTED:

Approve the downtown design review certificate for 517 Second Street to install a projecting sign, wall sign, and door vinyl decal.

ATTACHMENTS:

Downtown Design Review Certificate Application
Proposed Signage Rendering

Prepared by: Tiffany Weiss, Associate City Planner
Through: Mike Johnson, AICP, Community Development Director



Application for:
**CERTIFICATE OF DESIGN REVIEW
DOWNTOWN OVERLAY DISTRICT**
(As per Municipal Code § 255-17.1-10)

505 Third Street • Hudson, WI 54016 • (715)386-4776

www.hudsonwi.gov

Date		
Applicant Name		
Mailing Address		
Phone	Email	
Property/Building Owner		
Site Location <div style="display: flex; justify-content: space-around; font-size: small;">(number) (street) (other information)</div>		
Site Location Notes (if applicable)		
Scope of Permit – Include all new building construction, any exterior alterations or additions to existing buildings, all new parking lots and their landscaping, all new signage, and changes to existing color. <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>		
PERMIT CONSIDERATION – OFFICE USE ONLY		
Conditions of Approval: <hr/> <hr/> <hr/> <hr/>		
Plan Commission	Approved / Denied	_____
Design Review Committee	Approved / Denied	_____
Common Council	Approved / Denied	_____
		Date

CUSTOMER INFORMATION

Customer: **517 on Main**

Address: **Hudson, WI**

Sales: **Rana Kuebker**

DRAWING INFORMATION

File Name: **517 on Main
Hudson, WI
Sign Package
REV H 12-7-20**

Date: REV A 11-11-20

Revisions: REV B 11-11-20
REV C 11-20-20
REV D 11-20-20
REV E 11-25-20
REV F 11-30-20
REV G 12-3-20
REV H 12-7-20

Designer: Jeff Weispfenning

Customer/
LL Approval:



SignArt Company

Eau Claire, WI
715-834-5127
800-235-5178

St. Paul, MN
651-688-0563
800-699-0563

www.signartusa.com



517 on Main

Location: **Hudson, WI**

Sign Package Revision: **REV H 12-7-20**

This drawing was created to assist you in visualizing our proposal. It is the property of Sign Art Company and may not be used or reproduced by others.

Sign Specifications: East Elevation Blade Sign - Option 4

**Internally Illuminated (LEDs)
Double Faced Blade Sign
with Routed Aluminum Faces**
Sign to hang from New Wall Bracket

Fabricated aluminum frame

1" Retainers and 5" Returns:
painted (MP 2090 Duranodic 313 Metallic)

Faces:
Routed and painted (MP 2090 Duranodic 313 Metallic) aluminum faces
backed with translucent white polycarbonate

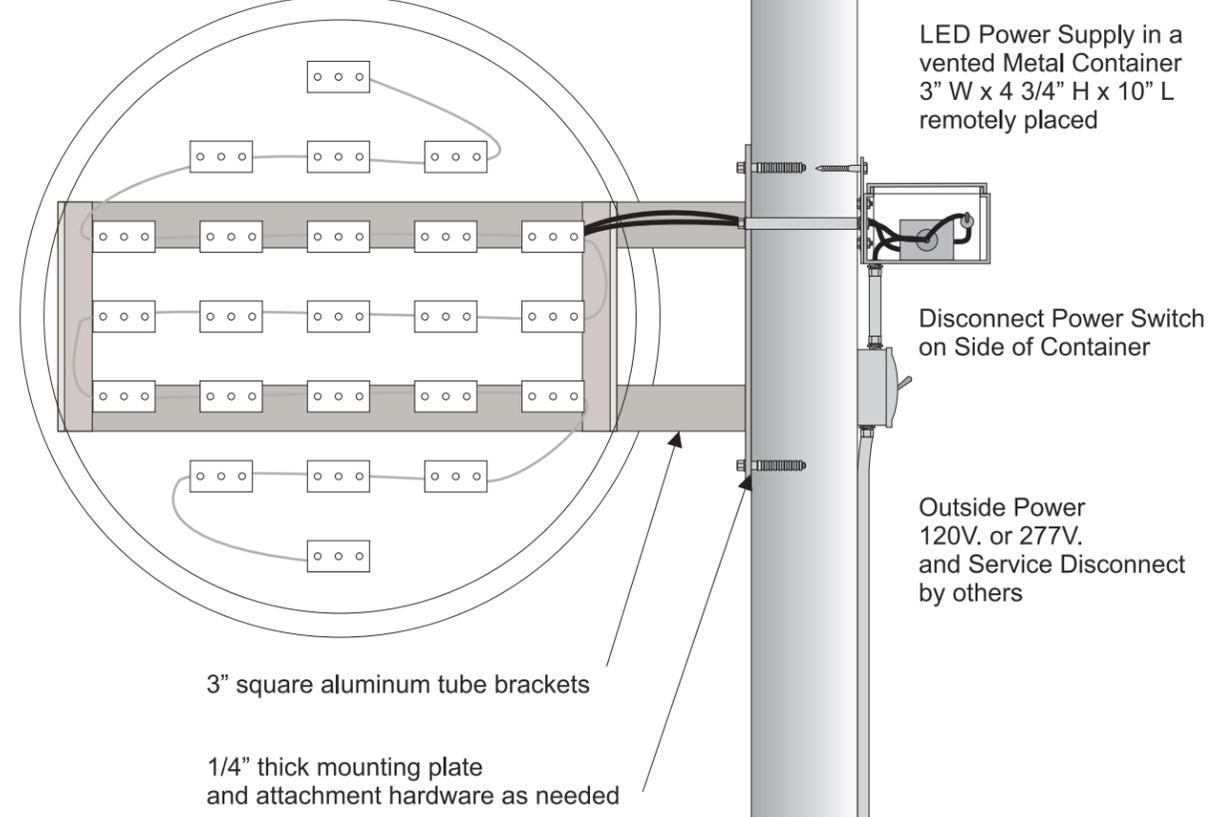
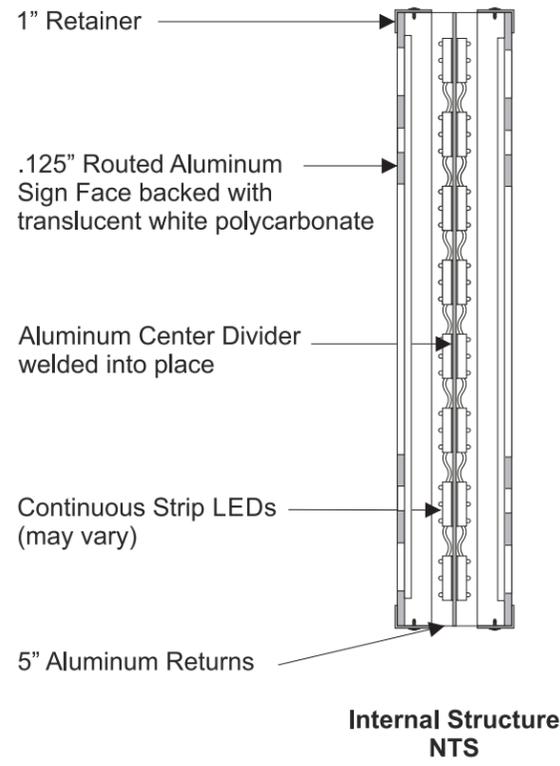
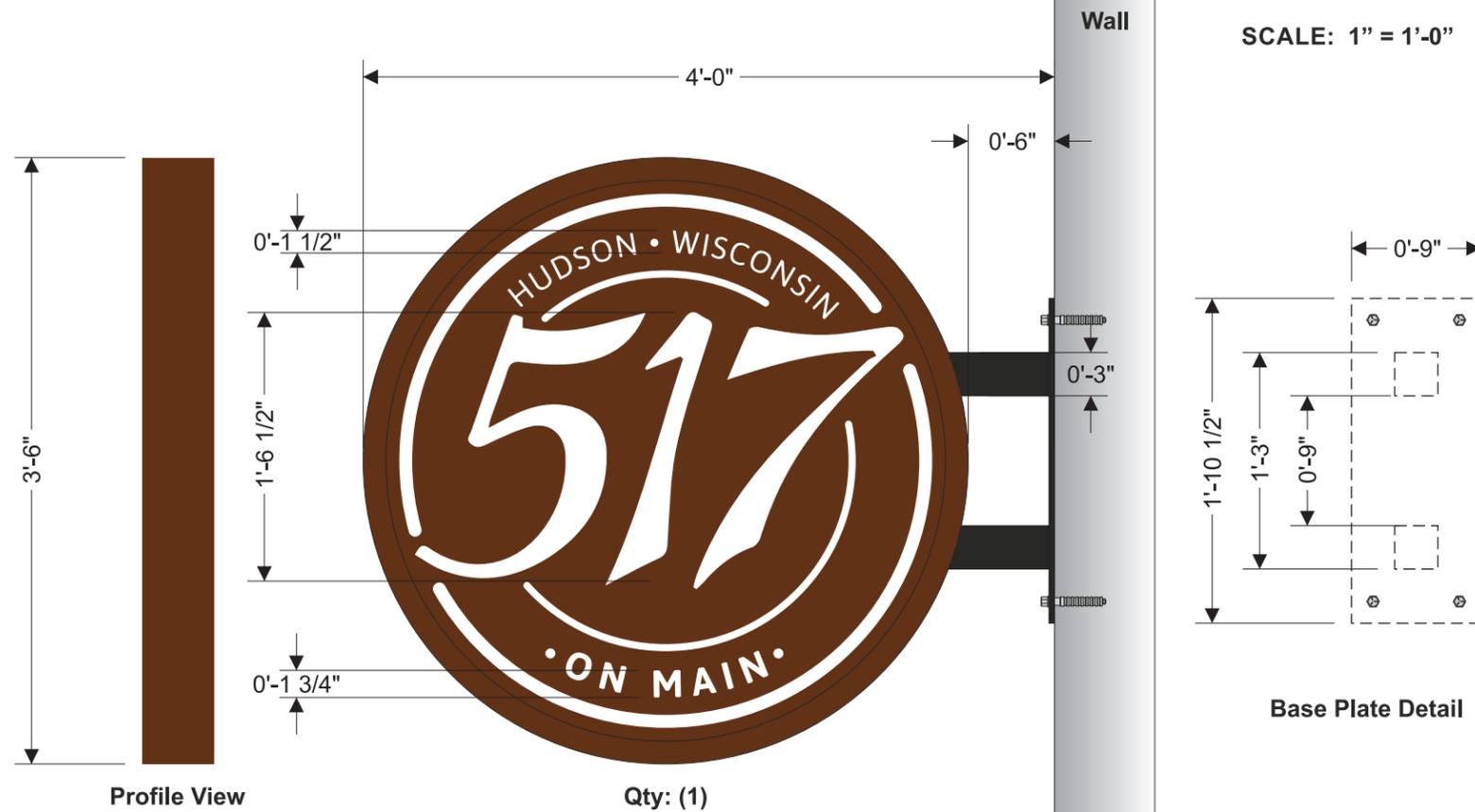
Brackets:
(2) 3" square aluminum tube brackets
with a 1/4" thick mounting plate
painted (black)

Sign Code:
Maximum Sign Area: 50 sq. ft.

Proposed Sign Area:
Front Blade Sign Area: 12.25 sq. ft.
Rear Wall Sign Area: 16 sq. ft.

Total Sign Area: 28.25 sq. ft.

Night Time View



CUSTOMER INFORMATION

Customer: 517 on Main

Address: Hudson, WI

Sales: Rana Kuebker

DRAWING INFORMATION

File Name: 517 on Main
Hudson, WI
front elev blade sign
REV G 12-7-20

Date: REV A 11-10-20

Revisions: REV B 11-11-20
REV C 11-20-20
REV D 11-20-20
REV E 11-30-20
REV F 12-3-20
REV G 12-7-20

Scale: 1" = 1'-0" at 11" x 17"

Page: 1 of 3

Designer: Jeff Weispfenning

Customer/
LL Approval:



SignArt Company

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800-235-5178

St. Paul, MN
651-688-0563
800-699-0563

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Building East Elevation with Sign Location: Blade Sign - Option 4

SCALE: 3/16" = 1'-0"

CUSTOMER INFORMATION

Customer: 517 on Main

Address: Hudson, WI

Sales: Rana Kuebker

DRAWING INFORMATION

File Name: 517 on Main
Hudson, WI
front elev blade sign
REV G 12-7-20

Date: REV A 11-10-20

Revisions: REV B 11-11-20
REV C 11-20-20
REV D 11-20-20
REV E 11-30-20
REV F 12-3-20
REV G 12-7-20

Scale: 3/16" = 1'-0" at 11" x 17"

Page: 2 of 3

Designer: Jeff Weispfenning

Customer/
LL Approval:



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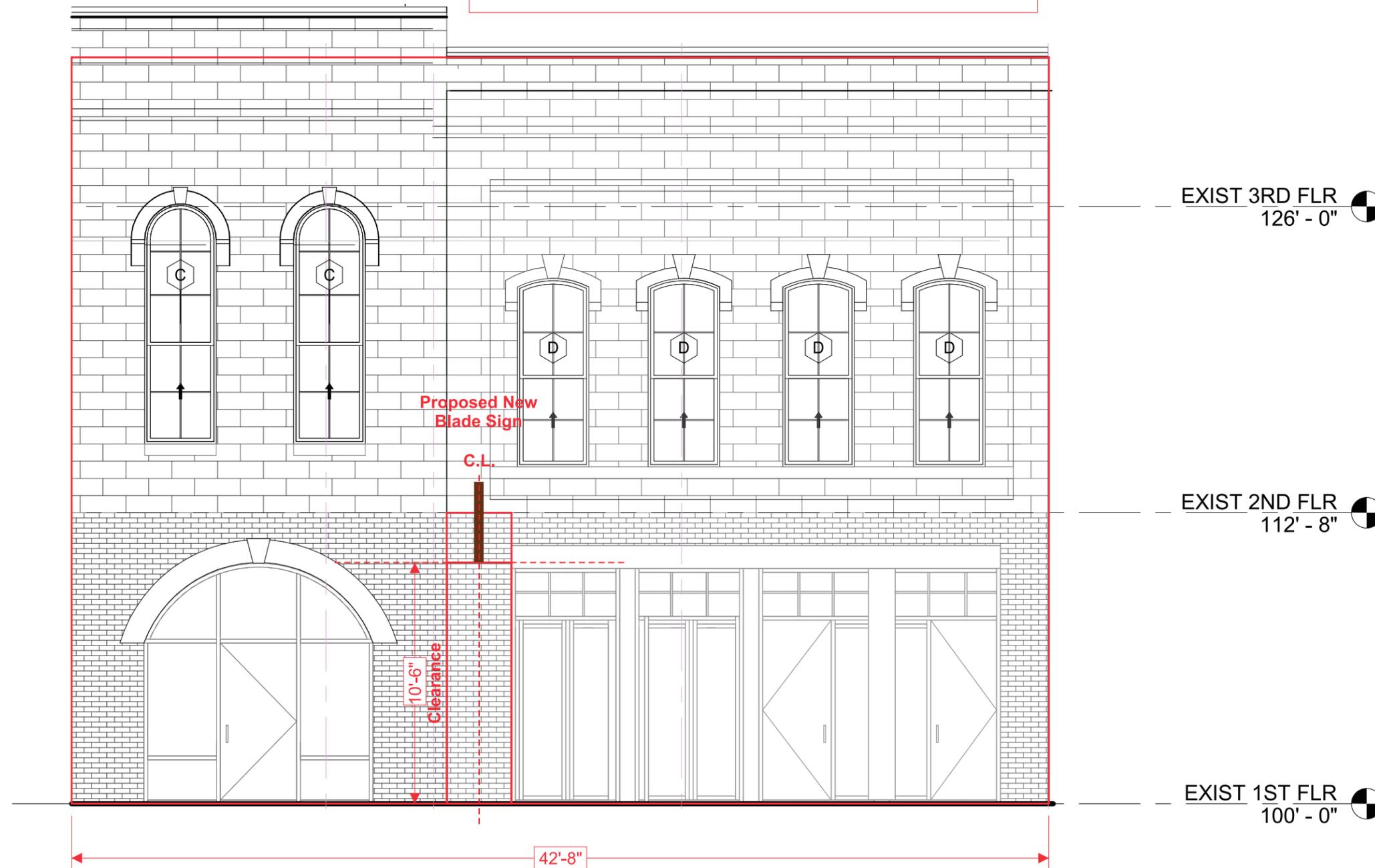
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INSTALLATION INSTRUCTIONS:

CENTER the new blade sign Left to Right on the wall as shown.
INSTALL the blade sign with a 10'-6" Clearance as shown.
Sign should not go above bottom of windows.



Photograph of East Elevation with Sign Location: Blade Sign - Option 4

Proposed New Blade Sign - 10'-6" Clearance - SCALE: 1/4" = 1'-0"



INSTALLATION INSTRUCTIONS:
 CENTER the new blade sign Left to Right on the wall as shown.
 INSTALL the blade sign with a 10'-6" Clearance as shown.
 Sign should not go above bottom of windows.

Existing Blade Sign Location



Proposed New Blade Sign Location - SCALE: 1/8" = 1'-0"



CUSTOMER INFORMATION

Customer: 517 on Main

Address: Hudson, WI

Sales: Rana Kuebker

DRAWING INFORMATION

File Name: 517 on Main
 Hudson, WI
 front elev blade sign
 REV G 12-7-20

Date: REV A 11-10-20

Revisions: REV B 11-11-20
 REV C 11-20-20
 REV D 11-20-20
 REV E 11-30-20
 REV F 12-3-20
 REV G 12-7-20

Scale: as shown

Page: 3 of 3

Designer: Jeff Weispfenning

Customer/
 LL Approval:



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Sign Specifications: Rear South Elevation Wall Sign

Non-Illuminated Flat Aluminum Routed Panel

Flush mounted to wall

Panel:
Flat Cut Out Routed 1/4" thick Aluminum Panel

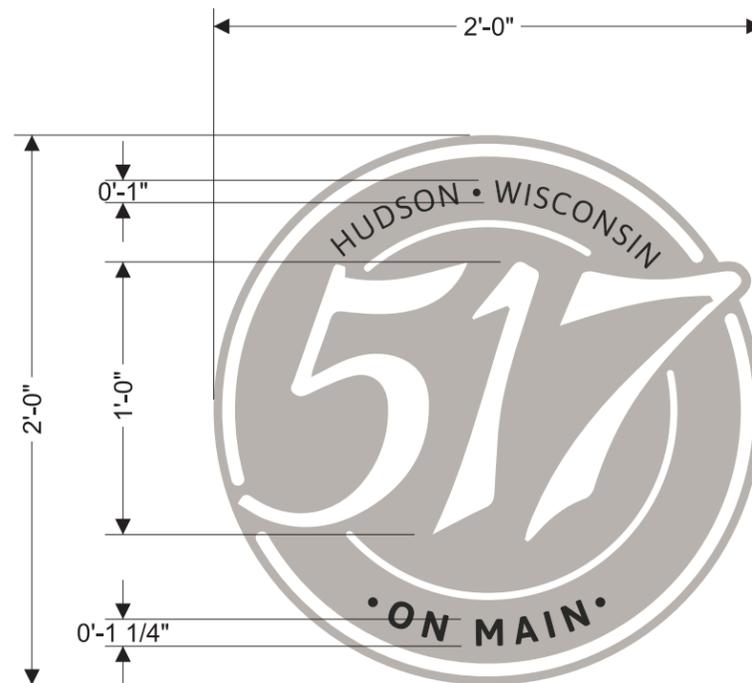
Finish:
Either actual brushed aluminum metal with vertical stroke or painted finish (brushed aluminum)

with applied vinyl graphics (black on small letters)

Sign Code:
Maximum Sign Area: 50 sq. ft.

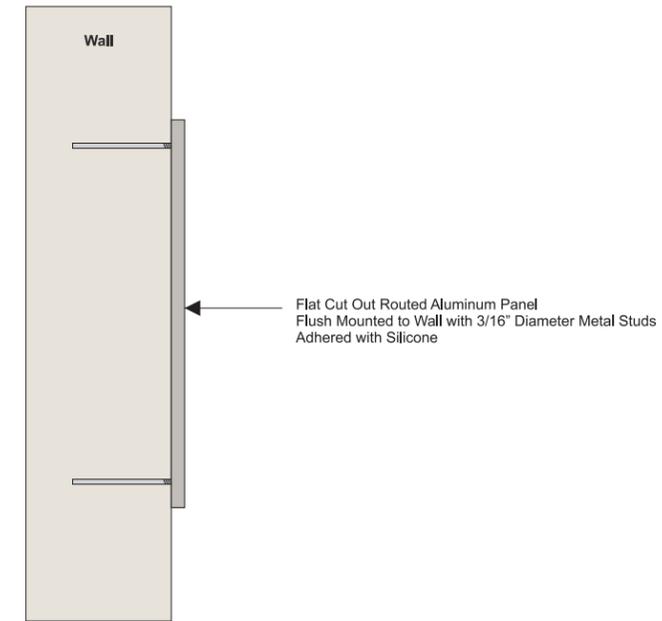
Proposed Sign Area:
Front Blade Sign Area: 12.25 sq. ft.
Rear Wall Sign Area: 16 sq. ft.

Total Sign Area: 28.25 sq. ft.



SCALE: 1 1/2" = 1'-0"

The actual sign attachment technique depends on the type of building wall, and to be determined at Site Survey.



SECTION ASSEMBLY DETAIL
Typical Non-Illuminated Flat Cut Out Routed Panel
(Flush Mounted with Studs)



CUSTOMER INFORMATION

Customer: 517 on Main

Address: Hudson, WI

Sales: Rana Kuebker

DRAWING INFORMATION

File Name: 517 on Main
Hudson, WI
rear elevation wall sign
REV B 11-30-20

Date: REV A 11-11-20

Revisions: REV B 11-30-20

Scale: 1 1/2" = 1'-0" at 11" x 17"

Page: 1 of 3

Designer: Jeff Weispfenning

Customer/
LL Approval:



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Sign Area: 4 sq. ft.

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Building Rear South Elevation with Sign Location: Wall Sign

SCALE: 3/16" = 1'-0"

INSTALLATION INSTRUCTIONS:
 INSTALL the sign on the black wall area by the rear door.
 1 foot in and 1 foot down as shown.

CUSTOMER INFORMATION

Customer: 517 on Main

Address: Hudson, WI

Sales: Rana Kuebker

DRAWING INFORMATION

File Name: 517 on Main
 Hudson, WI
 rear elevation wall sign
 REV B 11-30-20

Date: REV A 11-11-20

Revisions: REV B 11-30-20

Scale: 3/16" = 1'-0" at 11" x 17"

Page: 2 of 3

Designer: Jeff Weispfenning

Customer/
 LL Approval:



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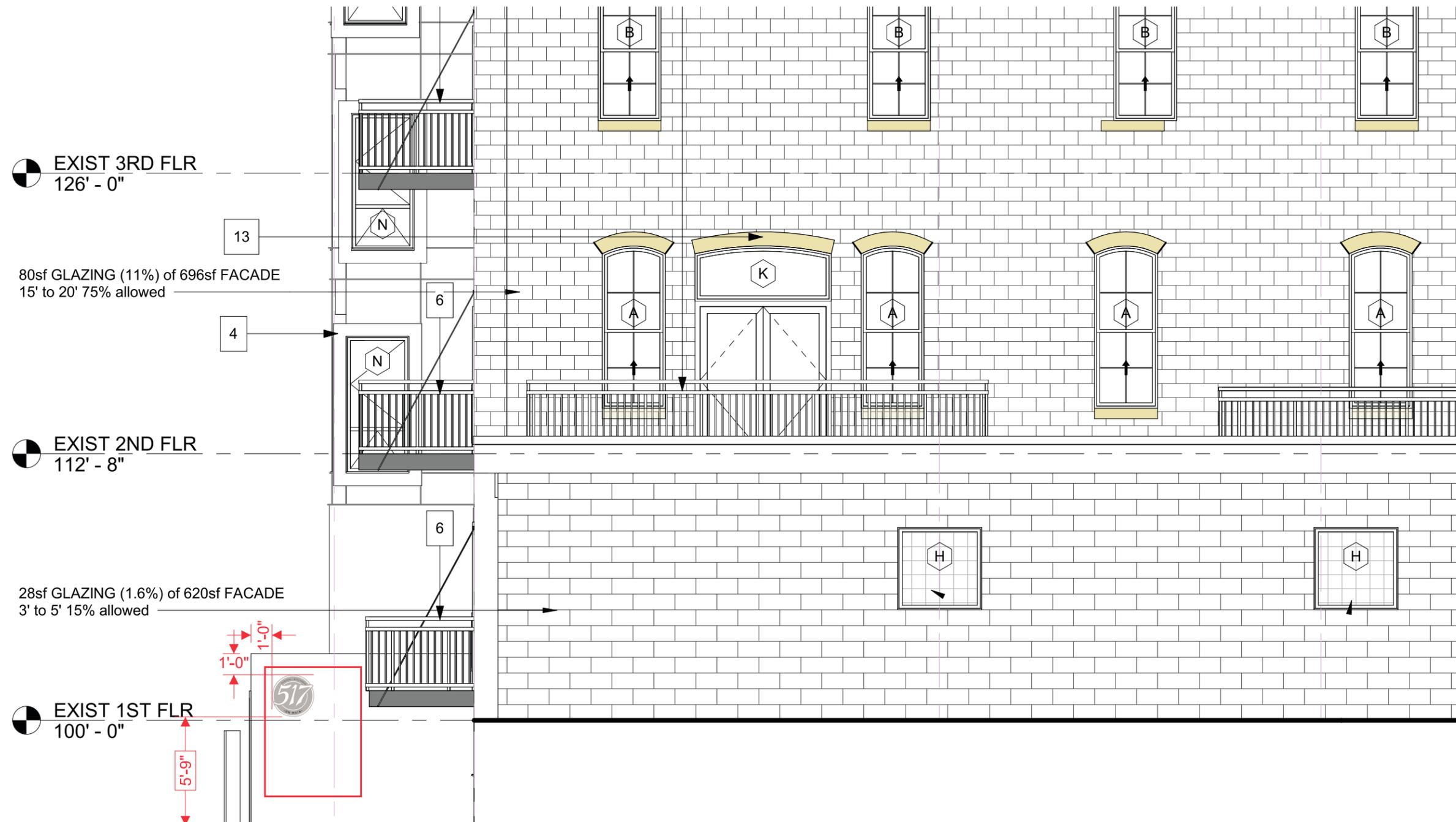
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Proposed New Sign



Photograph of Rear South Elevation with Sign Location: Wall Sign

SCALE: 1/2" = 1'-0"

INSTALLATION INSTRUCTIONS:
INSTALL the sign on the black wall area by the rear door.
1 foot in and 1 foot down as shown.

Proposed New Sign

CUSTOMER INFORMATION

Customer: 517 on Main

Address: Hudson, WI

Sales: Rana Kuebker

DRAWING INFORMATION

File Name: 517 on Main
Hudson, WI
rear elevation wall sign
REV B 11-30-20

Date: REV A 11-11-20

Revisions: REV B 11-30-20

Scale: 1/2" = 1'-0" at 11" x 17"

Page: 3 of 3

Designer: Jeff Weispfenning

Customer/
LL Approval:



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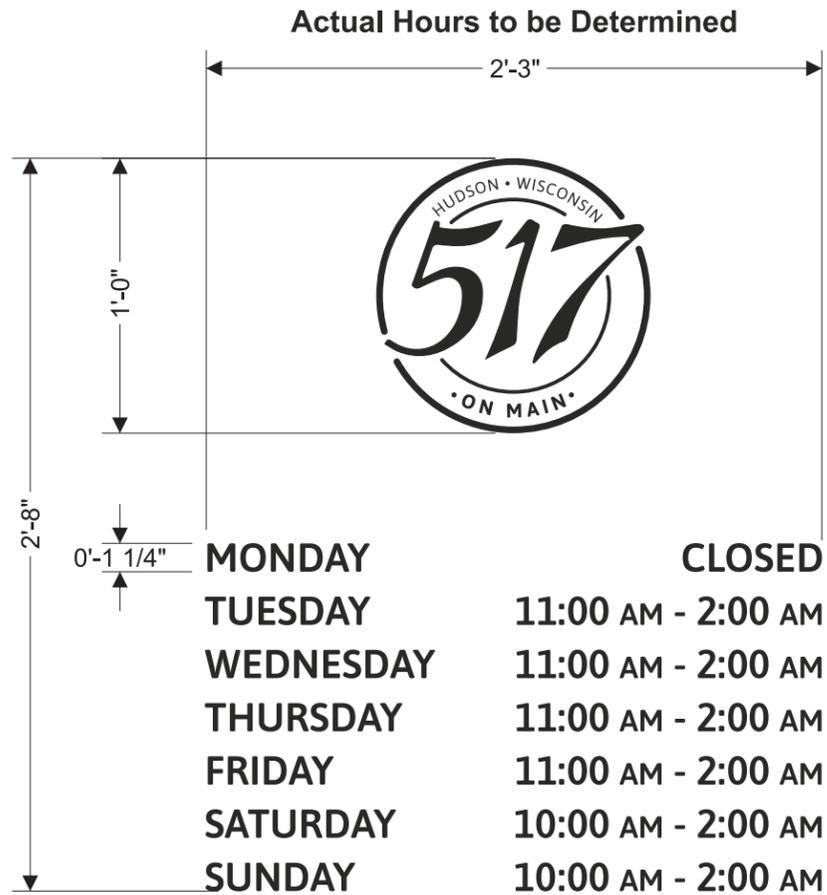
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Sign Specifications: East Elevation Door Vinyl

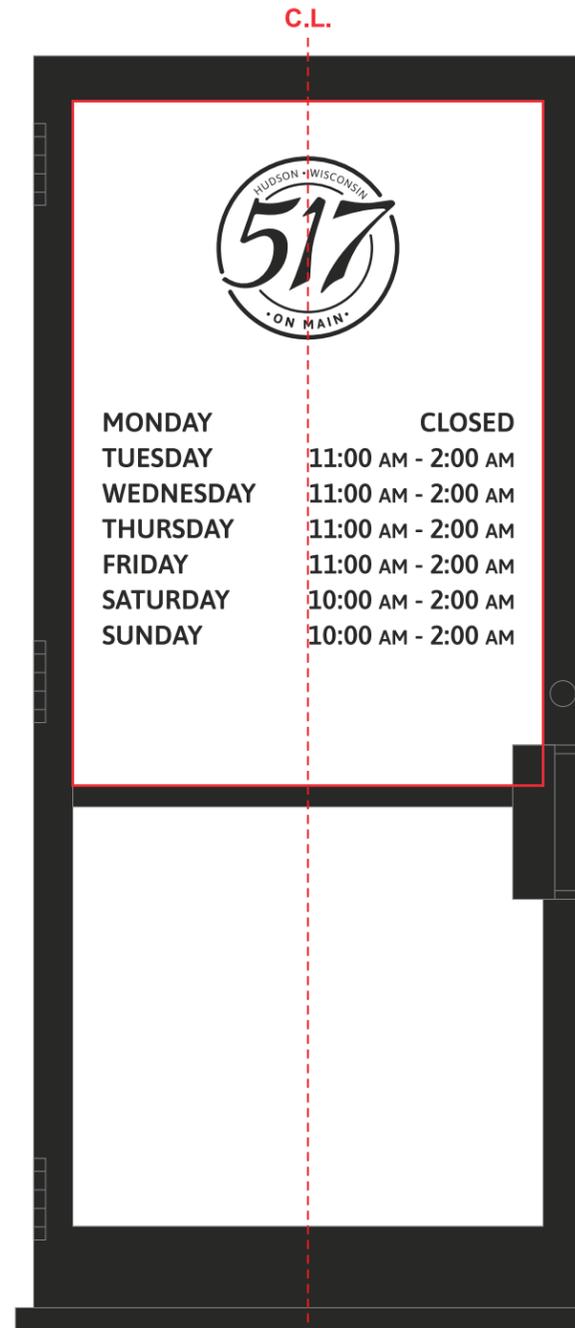
Non-Illuminated Door Vinyl
Applied to door second surface

Vinyl:
(2nd surface black)



Sign Area: 6.00 sq. ft.

SCALE: 1" = 1'-0"



INSTALLATION INSTRUCTIONS:
CENTER the vinyl Left to Right on the door as shown.
INSTALL the vinyl at an agreed upon height as shown.

CUSTOMER INFORMATION

Customer: 517 on Main

Address: Hudson, WI

Sales: Rana Kuebker

DRAWING INFORMATION

File Name: 517 on Main
Hudson, WI
front elev door vinyl
REV C 11-25-20

Date: REV A 11-11-20

Revisions: REV B 11-11-20
REV C 11-25-20

Scale: 1 1/2" = 1'-0" at 11" x 17"

Page: 1 of 3

Designer: Jeff Weispfenning

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SCALE: 1 1/2" = 1'-0"

Building East Elevation with Sign Location: Door Vinyl

SCALE: 3/16" = 1'-0"

CUSTOMER INFORMATION

Customer: 517 on Main

Address: Hudson, WI

Sales: Rana Kuebker

DRAWING INFORMATION

File Name: 517 on Main
Hudson, WI
front elev door vinyl
REV C 11-25-20

Date: REV A 11-11-20

Revisions: REV B 11-11-20
REV C 11-25-20

Scale: 3/16" = 1'-0" at 11" x 17"

Page: 2 of 3

Designer: Jeff Weispfenning

Customer/
LL Approval:



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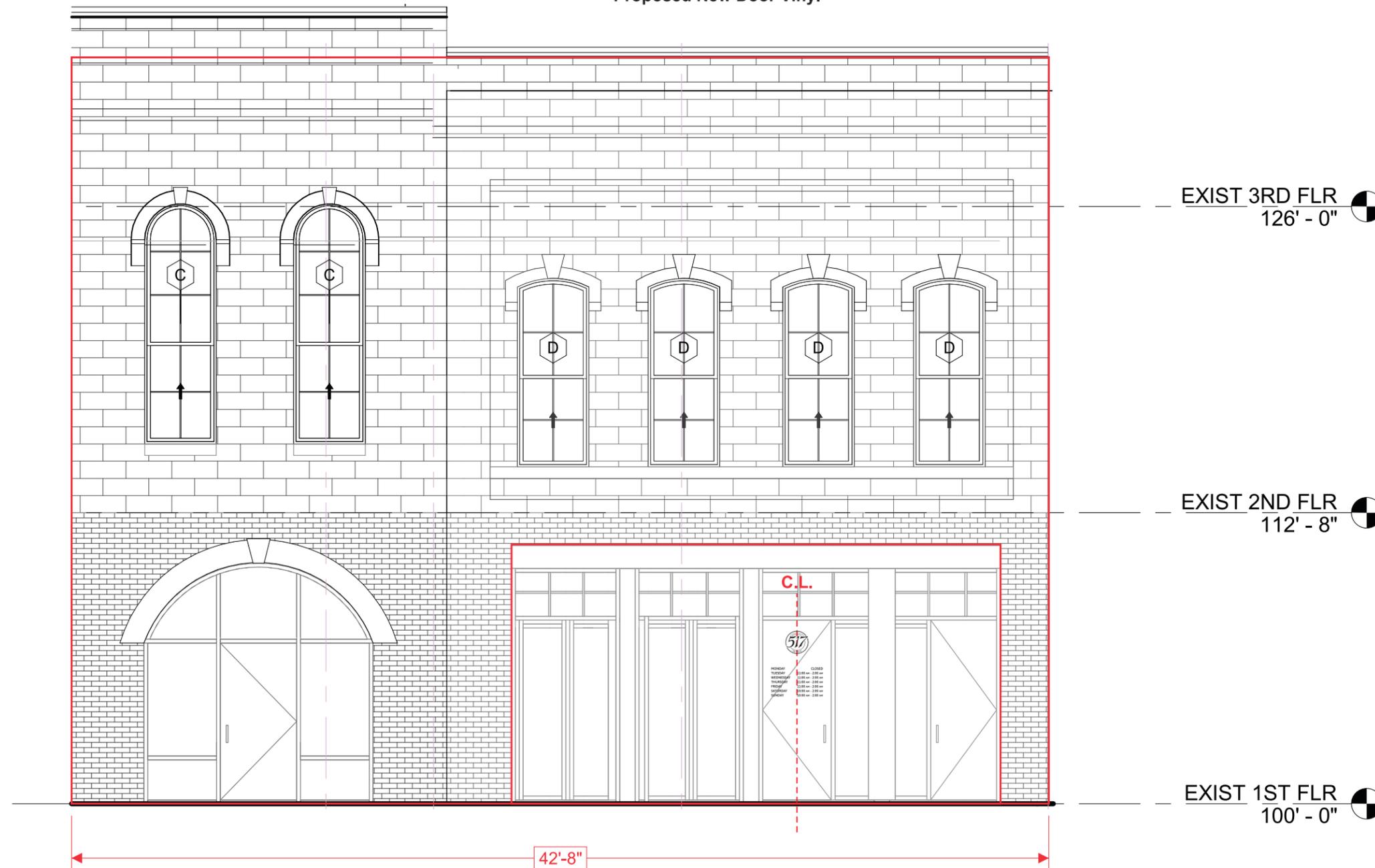
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INSTALLATION INSTRUCTIONS:
CENTER the vinyl Left to Right on the door as shown.
INSTALL the vinyl at an agreed upon height as shown.

Proposed New Door Vinyl



Photograph of East Elevation with Sign Location: Door Vinyl

SCALE: 3/16" = 1'-0"

CUSTOMER INFORMATION

Customer: 517 on Main

Address: Hudson, WI

Sales: Rana Kuebker

DRAWING INFORMATION

File Name: 517 on Main
Hudson, WI
front elev door vinyl
REV C 11-25-20

Date: REV A 11-11-20

Revisions: REV B 11-11-20
REV C 11-25-20

Scale: 3/16" = 1'-0" at 11" x 17"

Page: 3 of 3

Designer: Jeff Weispfenning

Customer/
LL Approval:

Proposed New Door Vinyl



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